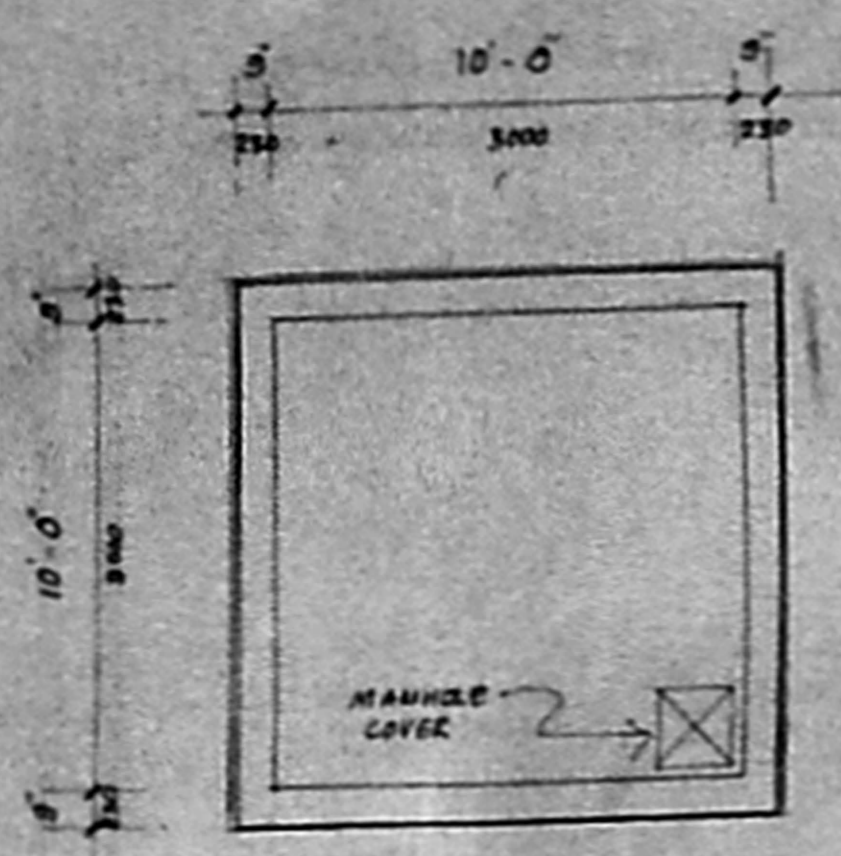
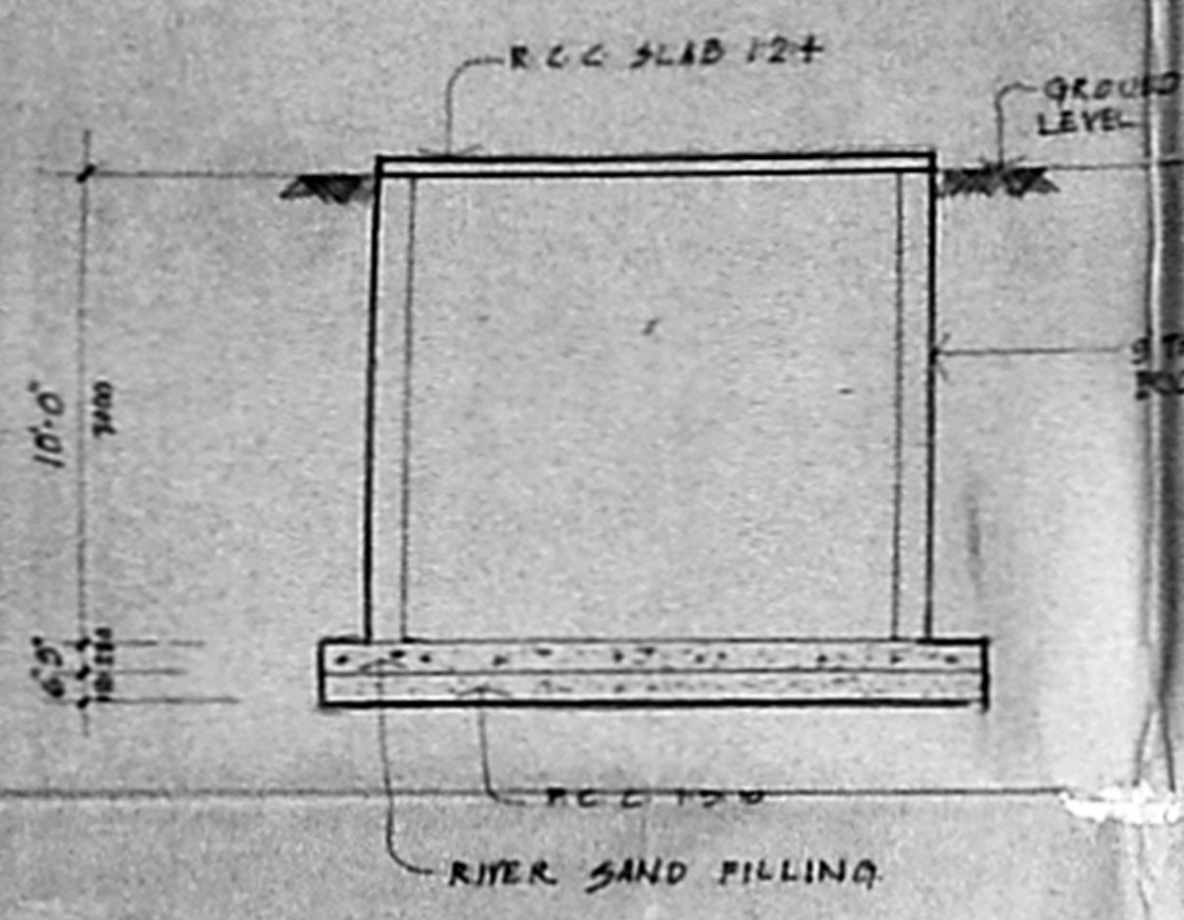


101X 93.8
 MMDA (P) APP NO. 1
 C.No. 831/9.41/87
 PART I
 PART II
 A.P. DP



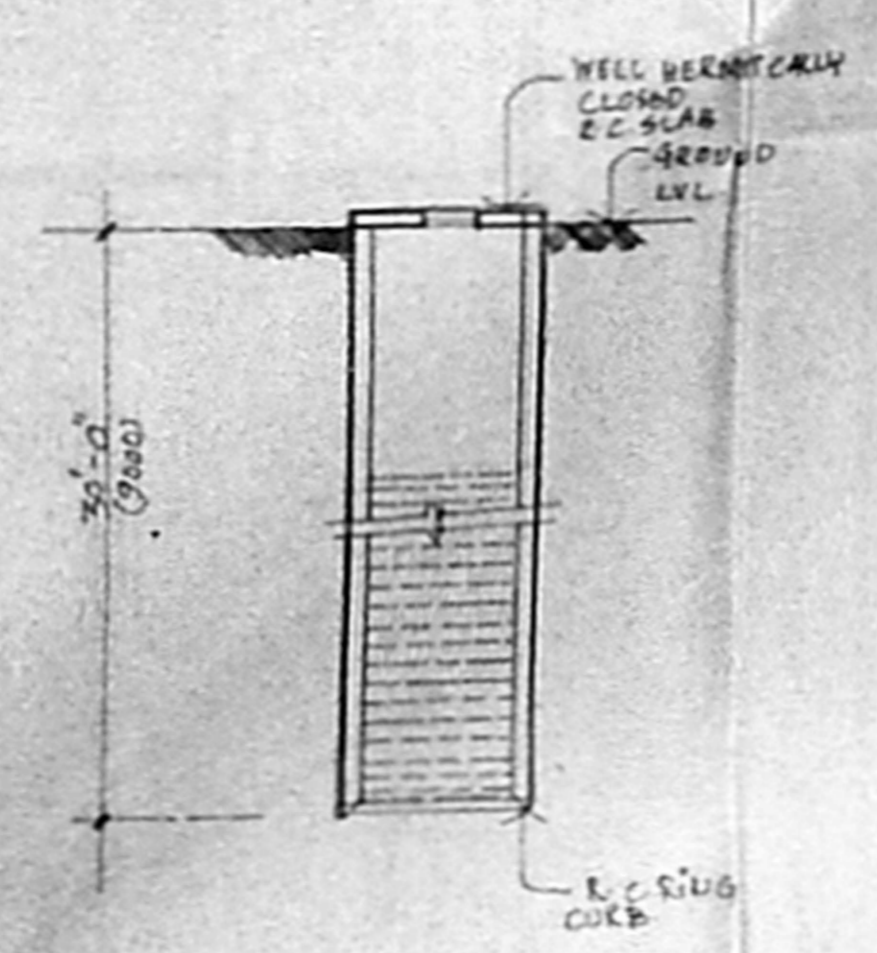
PLAN OF SUMP



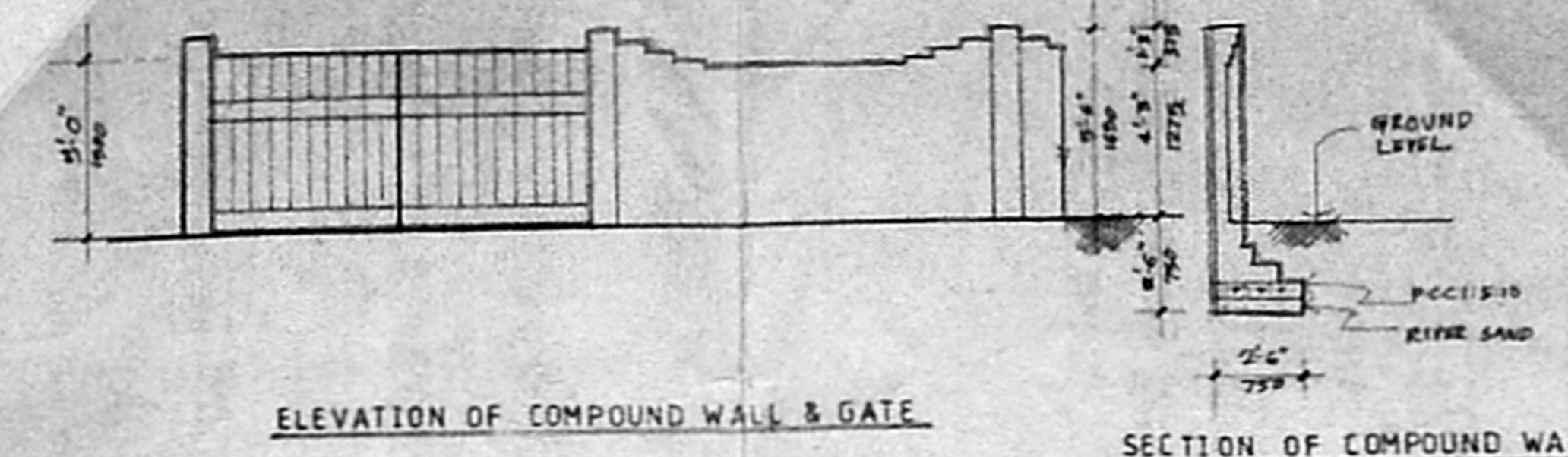
SECTION OF SUMP (scale: 1:50)



PLAN

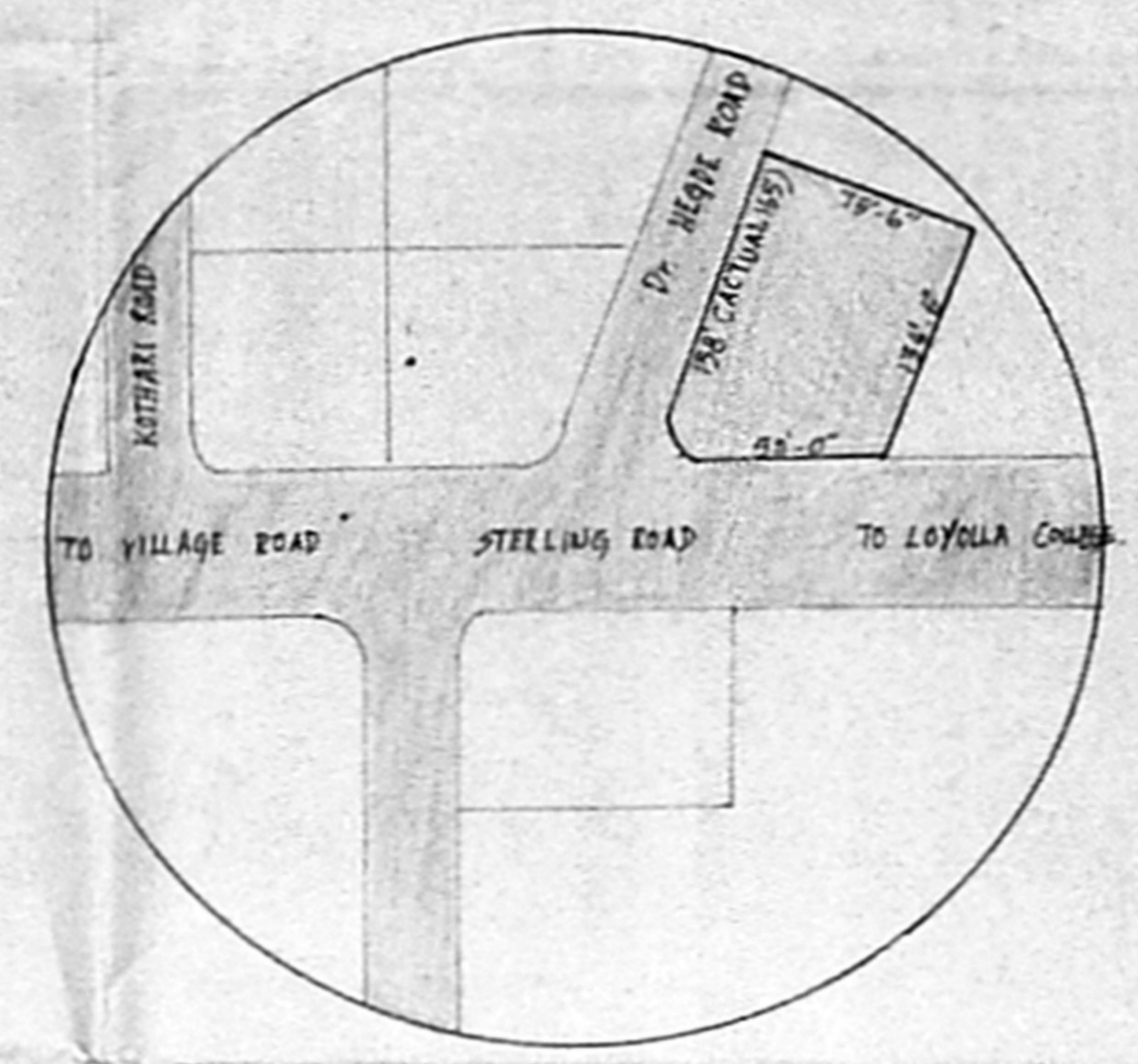


SECTION OF WELL

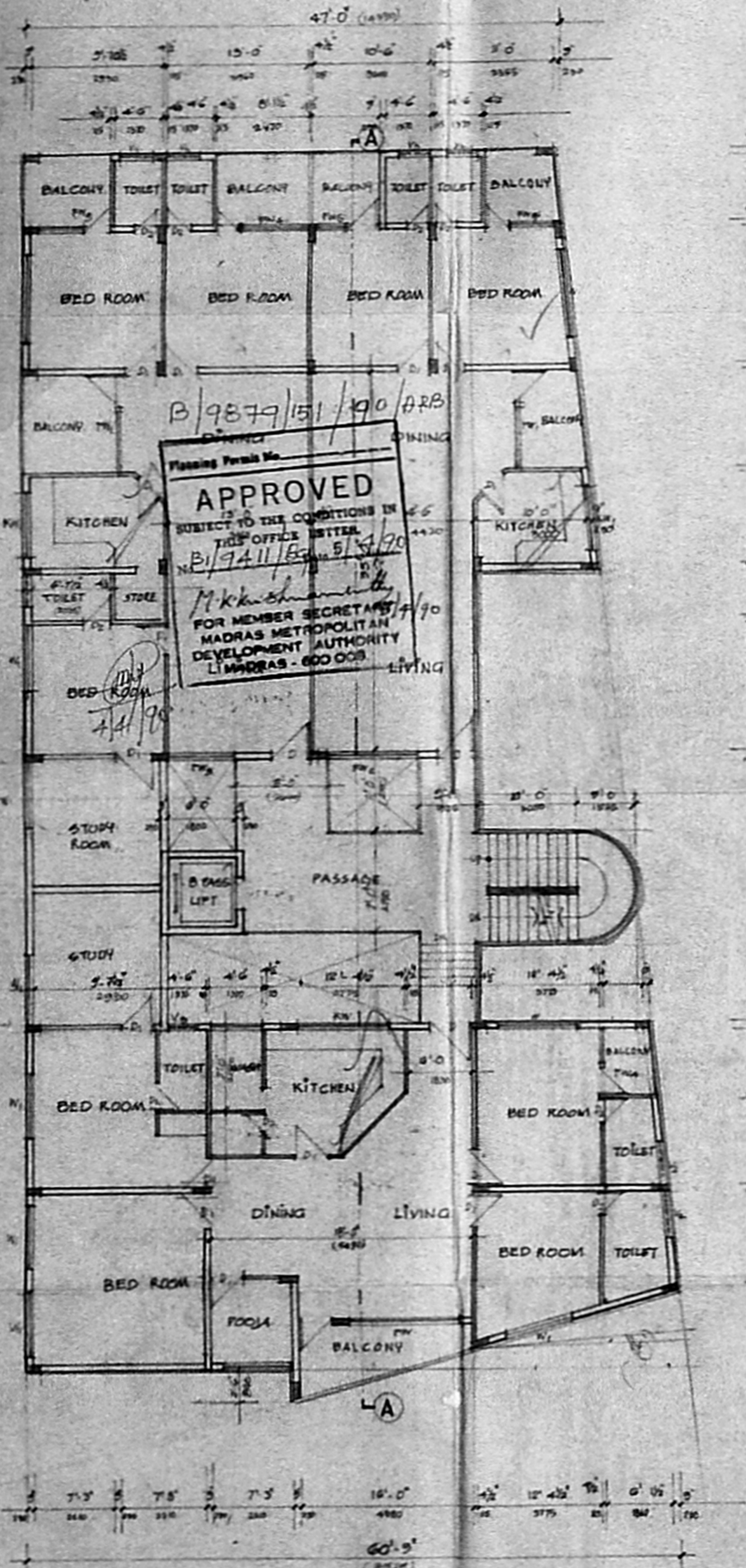


ELEVATION OF COMPOUND WALL & GATE

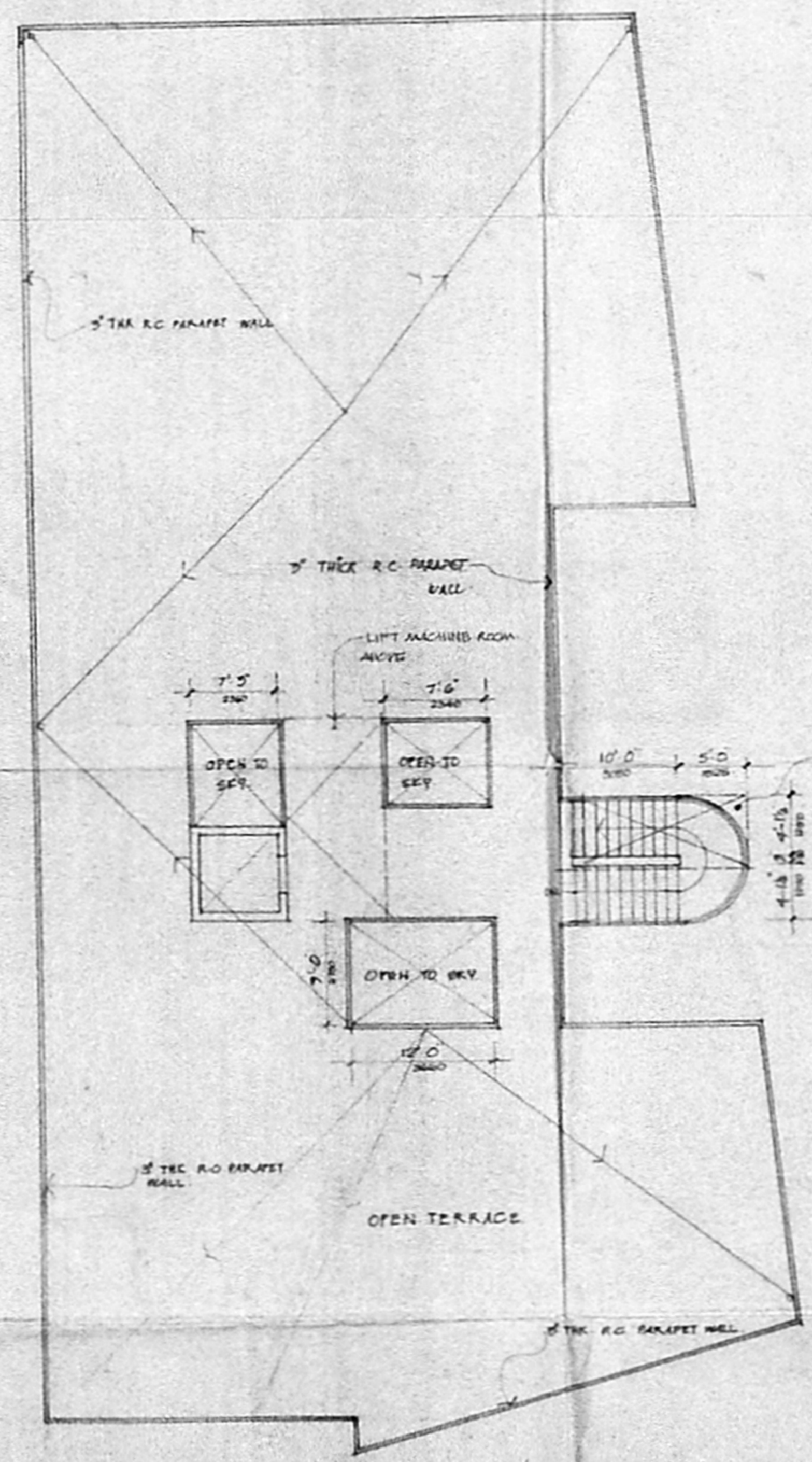
SECTION OF COMPOUND WALL



TOPO PLAN (not to scale)



TYPICAL FLOOR PLAN (1st, 2nd, 3rd)



TERRACE PLAN

S.NO	SPECIFICATION
1	R.C.C. RAFT FOUNDATION
2	BRICK WORK IN SUPER CONSTRUCTION - 2" MORTAR 1:5
3	R.C.C. COLUMNS, PLINTH BEAMS, ROOF SLABS ETC. IN CEMENT CONCRETE 1:2:4
4	PLASTERING WORK IN CM 1:4
5	MOSAIC OR MARBLE FLOORING IN CM 1:3
6	2 COATS OF COLOUR OR WHITE WASHING
7	ALL DOORS AND WINDOWS IN TEAK WOOD
8	2 COATS OF EMERALD PAINT ON ONE COAT OF PRIMER ON WOOD WORK AND GRILL
9	WEATHERING COURSE IN BRICK JOLLY CONCRETE IN CM WITH 2 COARSE OF FLAT TILES LAID TO SLOPE

owner signature

 Y. GOVINDAN (OWNER AGENT)

proposed coloured shown:
 ROAD: [Symbol]
 Boundary line: [Symbol]
 Sewage: [Symbol]

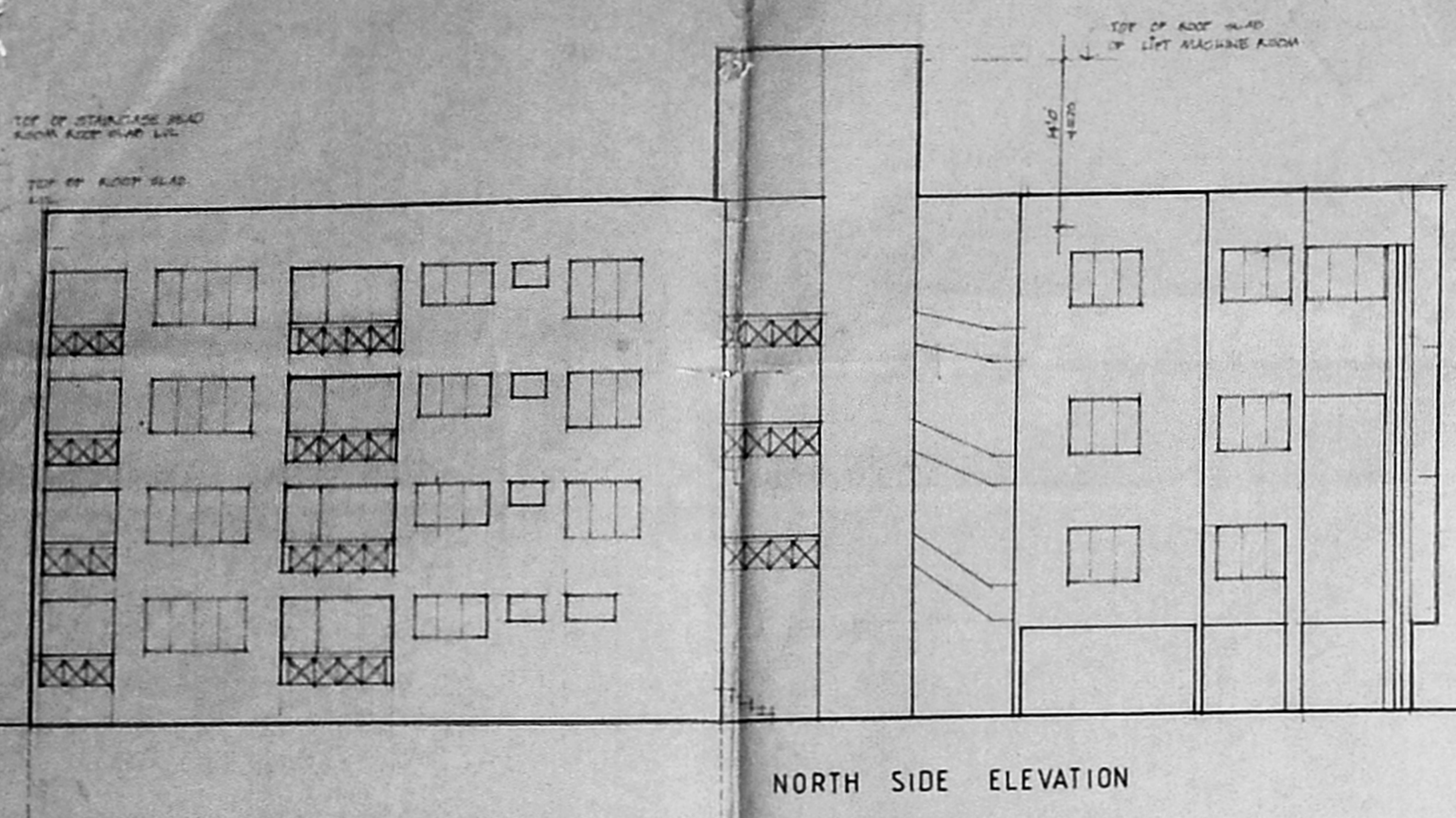
Proposed flats for
 Dharami developers pvt ltd
 at Rs no 5522 sterling road
 Nungambakkam Madras

TYPICAL FLOOR PLAN, TERRACE PLAN, TOPO PLAN AND FURTHER
 scale: 1/20' = 1/100'
 date: 27.10.89
 job no: 89/80
 draw: [Signature]

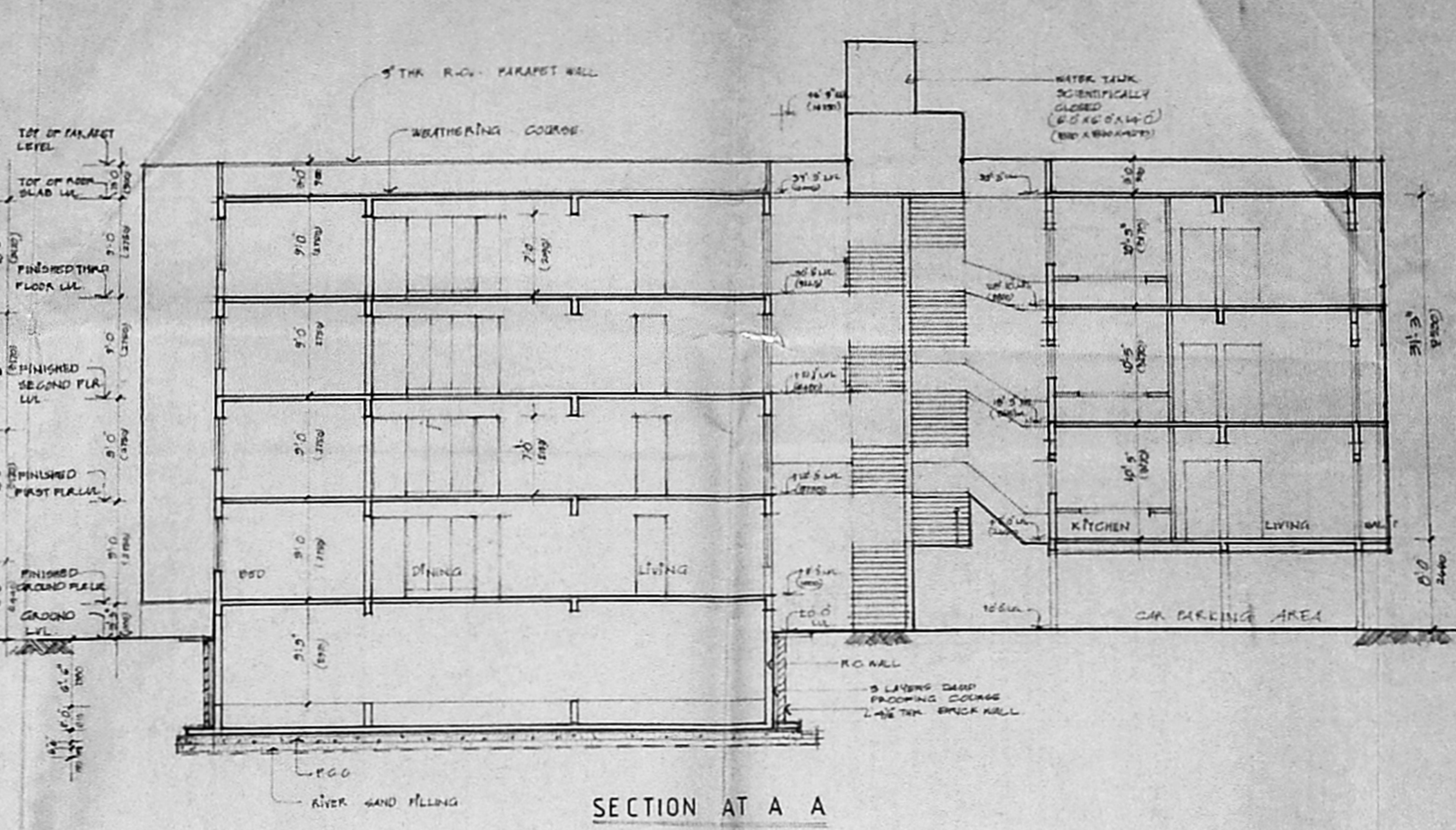
ARCHITECT

 K. Shiva Shankar
 E. SHIVA SHANKAR
 B.Arch, M.A. MCA
 Licentiate
 Council of Architecture
 CA No. 281/2213
 No. 25, First Street, GENATOP ROAD,
 MADRAS-600 016
 Teyampet Madras-18

99.5 x 86
 0/c
 MMDA B/P/PP NO. 10
 C.No. 25/10/89
 PART I
 PART II
 A.P. D.P.



NORTH SIDE ELEVATION



SECTION AT A A

SCHEDULE OF JOINERY

TYPE	DESCRIPTION	SIZE
D	T.W. PANELLLED DOOR	3'3" x 7'0"
D ₁	T.W.	3'0" x 7'0"
D ₂	T.W.	2'6" x 7'0"
FW	FRENCH WINDOW	10'0" x 7'0"
FW ₁	T.W. FRENCH WINDOW	4'0" x 7'0"
FW ₂	T.W.	8'0" x 7'0"
FW ₃	T.W.	6'0" x 7'0"
FW ₄	T.W.	6'0" x 7'0"
FW ₅	T.W.	4'0" x 7'0"
W	T.W. GLAZED WINDOW	8'0" x 4'0"
W ₁	T.W.	6'0" x 4'0"
W ₂	T.W.	3'0" x 4'0"
KW	KITCHEN WINDOW	6'0" x 3'0"
KW ₁	KITCHEN WINDOW	6'0" x 3'0"
V	T.W. GLAZED VENTILA	8'0" x 2'0"
V ₁	T.W. GLAZED VENTILA	6'0" x 2'0"
V ₂	"	4'0" x 2'0"
V ₃	"	3'0" x 2'0"

AREA STATEMENT

	SQ. FT.	SQ. MT.
BASMENT AREA	1774.00	165.00
GROUND FLOOR AREA	2763.00	256.00
FIRST FLOOR AREA	2824.00	263.00
SECOND FLOOR AREA	2864.00	266.00
THIRD FLOOR AREA	3264.00	302.00
TOTAL BUILT UP AREA	13977.00	1293.00
PLAT AREA	12432.00	1155.00
F.S.I. ALLOWED	1.5	
F.S.I. PROVIDED	1.43	
PLOT COVERAGE	21.5%	
CAR PARKING (provided)	12nos	

OWNER SIGNATURE

 V. GOVINDA (POWER AGENT)

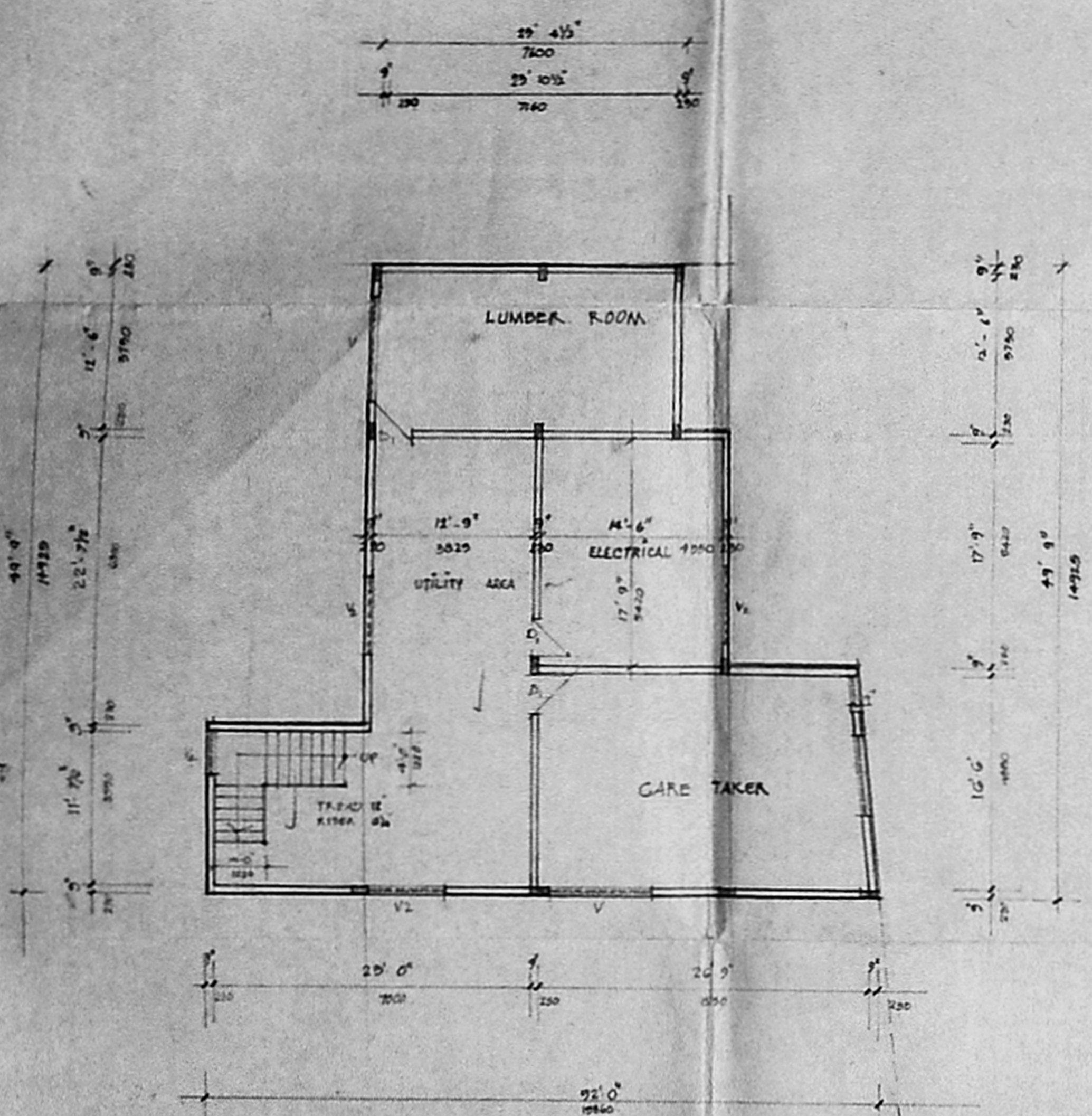
Proposed Colours Shown:
 Road
 Boundary line
 Sewage Line

PROPOSED FLATS FOR
 Dharani Developers pvt ltd,
 at R/S No 552/2 sterling road
 Nungambakkam MADRAS-6

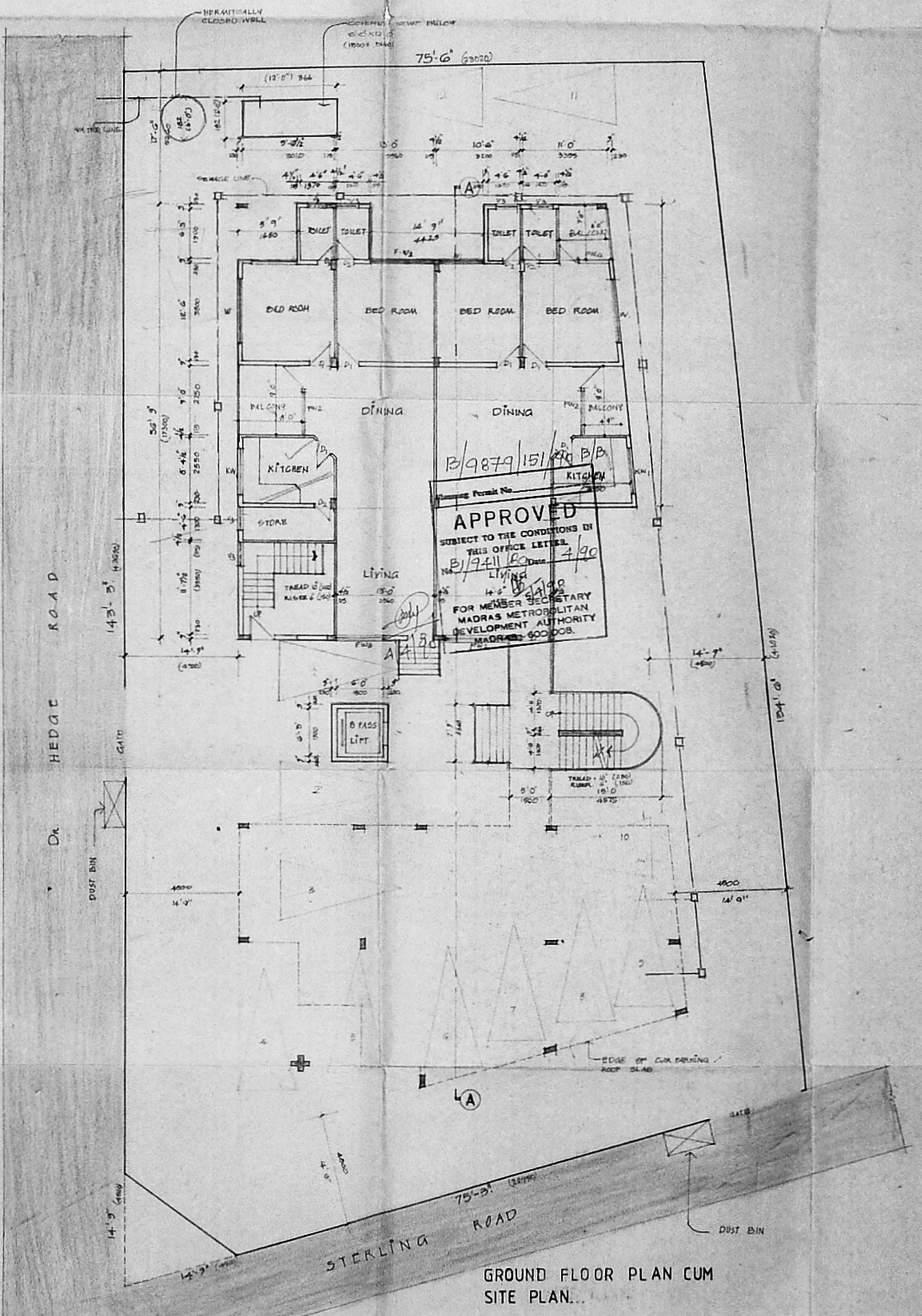
BASEMENT PLAN, GROUND FLOOR CUM SITE PLAN,
 FRONT ELEVATION, SECTION
 SCALE : 1/80 1/100
 DATE : 25. 10. 89
 DRAWN : Balaji
 JOB NO :

architect

 K. SHIVA SHANKAR
 25 first st cenatop road
 teynampet madras-600 016



BASEMENT PLAN



GROUND FLOOR PLAN CUM SITE PLAN